

MOBILE HOME

(Manufactured Home/Park Trailer Set Up)

Please submit/upload plans in PDF format

Please indicate items submitted with a checkmark (√)

Please upload [this Checklist and any Required Forms](#) in **.pdf format** to the appropriate category [<Survey>](#) [<Building Plans>](#) [<Supporting Docs>](#) [<NOA>](#) following the TOJ Naming Convention found in Help Documents

Create online as: **Building Alteration**

1. Site Information [<Survey>](#)

- a. Site plan of Mobile Home Lot with Location of Mobile Home and Setbacks _____
- b. Lot drainage plan/survey required with direction of flow arrows showing the proposed drainage _____
- c. Floodplain Development Permit, *required if* structure is in a flood hazard zone _____
- d. Elevation Certificate signed/sealed, *if applicable* _____
- e. Soil analysis, signed/sealed, *if applicable* _____
- f. Completed Drainage Certification Form, *if applicable* _____

2. Plans [<Building Plans>](#)

- a. Engineer signed/sealed foundation and anchoring plan _____
- b. Details and Specifications of Stairs, Ramps, Slabs, Foundations, etc. _____
- c. Installation per manufacturer's instructions, which shall be made available to the inspector, OR per **Department of Highway Safety, Division of Motor Vehicles** "Anchor and Tie-Down Installation Standards", a copy of which shall be attached _____

3. Supporting Documents [<Supporting Docs>](#)

- a. Letter of Approval from mobile park owner _____
- b. Residential Impact Fees Paid _____
- c. Permit fee paid as determined by value of installation _____
- d. Do **NOT** include value of sub permits in value of set up (Electric, Plumbing, Mechanical) _____

IMPORTANT NOTICE

**IF RESIDENT LIVES IN DEED RESTRICTED COMMUNITY
PLEASE CONTACT HOA TO DETERMINE IF ASSOCIATION APPROVAL IS REQUIRED
TOJ BUILDING DEPARTMENT CANNOT ENFORCE ASSOCIATION REGULATIONS**

**Valuation of each permit determined by the total value of work
Including material, equipment and labor even when supplied by others**

NOTE:

Palm Beach County and Jupiter impact fees may be required



**Town of Jupiter
 Building Department
 210 Military Trail
 Jupiter, Florida 33458
 Phone (561) 741-2286
 Fax (561) 741-0911**

FLOODPLAIN DEVELOPMENT PERMIT

Date Submitted _____ Date Approved _____ Bldg. Permit _____

Address _____

Lot _____ Block _____ Subdivision _____

Legal for Metes & Bounds **30-** _____

Type of Development _____ Size of Development _____ Excavation _____

Fill _____ Grade _____ Building or Other Structures _____

Other Alterations (specify) _____

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- Location in Flood Plain:
- a. _____ Inside regulatory floodway
 - b. _____ Outside floodway limits
 - c. _____ Inside flood plain
 (no regulatory floodway established)

Development Standards Data (Reference Ordinance 75-90)

1. If (a) or (c) is checked, attach engineering certification and supporting data as required.
2. Required floor elevation is _____ MSL (NAVD) Zone _____
3. Proposed finished floor elevation _____ MSL (NAVD)
 Attach survey as required.
4. Floodproofing information (if applicable):
 - a. Required floodproofed elevation is _____ MSL Zone _____
 - b. Actual (as built) floodproofed elevation is _____ MSL (NAVD)
 Attach engineering certification and supporting data as required.
5. Complete for alterations, additions or improvements to existing structures
 1. What is the estimated market value of the existing structure? \$ _____
 2. What is the value of all improvements from 1977 including this submittal? \$ _____
 3. If the cost of the proposed construction equals or exceeds 50 percent of the market value of the structure, then the substantial improvement provisions shall apply.

Comments _____

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Applicant Acknowledgment

I understand that the issuance of this permit is contingent upon the above information being correct and that the plans and supporting data have been or shall be provided as required. I agree to comply with all applicable provisions of Ordinance 15-77 and all other laws or ordinances affecting the proposed development.

Applicant _____ Authorized Signature _____
 (PRINT NAME)

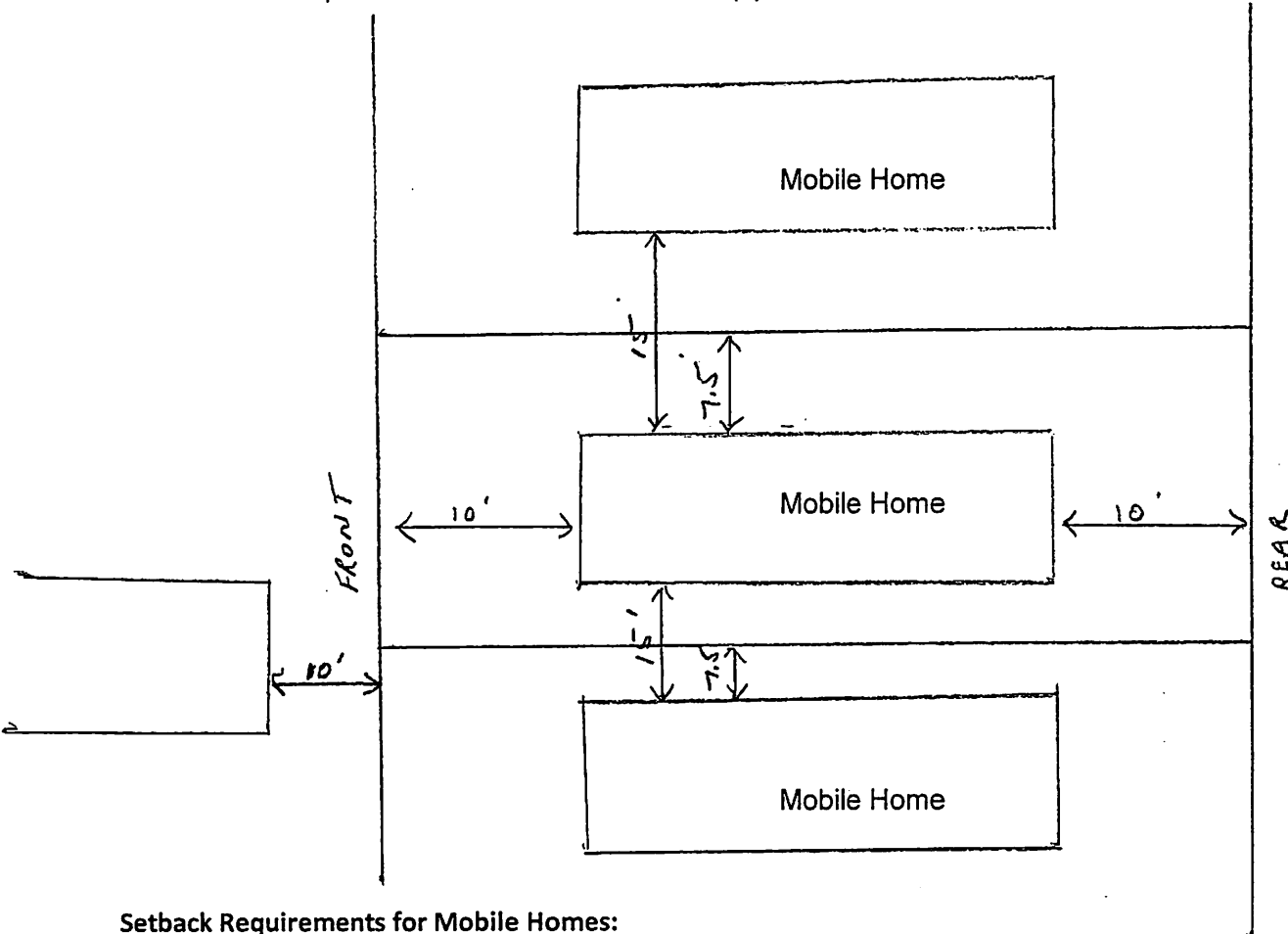
Building Official _____

Contractor _____ Tel _____ Permit No _____

Project Address _____

Complete sketch with the following information:

1. Dimensions and location of existing structures.
2. Fill in all setback dimensions. Be sure that any structural additions to the mobile home are shown awnings, screens and carports, etc. with existing setbacks.
3. Indicate location of front of lot and streets.
4. Indicate driveway and parking areas.
5. Shed required setback Section 27-1667 (a)



Setback Requirements for Mobile Homes:

Front - 10' ft. to property line of lot.

Rear - 10' ft. end to end.

Interior sides - 7.5 ft. to property line, 15' ft. between mobiles.

Corner sides - 15'

Setbacks from permanent building or perimeter property line is 20' ft.